



COMMUNITY DEVELOPMENT SERVICES PLANNING AND BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667
Phone: (530) 621-5355 www.edcgov.us/Planning/

APPLICATION FOR: **DESIGN REVIEW**

FILE # DR-R19-0004

ASSESSOR'S PARCEL NO.(s) 083-182-004, 005 & 006

PROJECT NAME/REQUEST: (Describe proposed use) Air Park Self Storage

Phase 1- Proposes the construction of 57,500 SF of self storage units and 30 outdoor RV spaces

Phase 2 - Removes 30 outdoor RV spaces and constructs an additional 20,025 SF of self storage units

APPLICANT/AGENT Superior Storage Group, c/o Dave Kindelt

Mailing Address 4120 Douglas Boulevard, #306-524, Granite Bay, CA 95746

P.O. Box or Street City State & Zip

Phone () 916-786-0500 EMAIL: dave@superiorstoragegroup.com

PROPERTY OWNER Darin Moore

Mailing Address P.O. Box 1567 Rancho Cordova, CA 95741

P.O. Box or Street City State & Zip

Phone () 916-635-1718 EMAIL: _____

LIST ADDITIONAL PROPERTY OWNERS ON SEPARATE SHEET IF APPLICABLE

ENGINEER/ARCHITECT Lebeck Young Engineering, Inc.

Mailing Address 3430 Robin Lane #2, Cameron Park, CA 95682

P.O. Box or Street City State & Zip

Phone () 530-677-4080 EMAIL: ron@lebeckyoung.com

LOCATION: The property is located on the West side of Cameron Park Drive

N / E / W / S street or road

2 Miles feet/miles North of the intersection with Highway 50

N / E / W / S major street or road

in the Cameron Park area. PROPERTY SIZE 3.44 Acres

acreage / square footage

X [Signature] Date 8/7/2019
signature of property owner or authorized agent

FOR OFFICE USE ONLY

Date 08/09/19 Fee \$ 5,367 Receipt # R13466 Rec'd by ENC Census _____

Zoning CG-DR GPD C Supervisor Dist _____ Sec _____ Twn _____ Rng _____

ACTION BY _____
PLANNING COMMISSION
ZONING ADMINISTRATOR
PLANNING DIRECTOR

ACTION BY BOARD OF SUPERVISORS

Hearing Date _____

Hearing Date _____

Approved _____ Denied _____
findings and/or conditions attached

Approved _____ Denied _____
findings and/or conditions attached

APPEAL:
Approved _____ Denied _____

Executive Secretary _____

Application Revised 11/2017

DR-R19-0004

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2019 AUG 14 AM 9:03



COMMUNITY DEVELOPMENT SERVICES PLANNING AND BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667
Phone: (530) 621-5355 www.edcgov.us/Planning/

DESIGN REVIEW

REQUIRED SUBMITTAL INFORMATION

The following items 1 through 9 must be provided with all applications. The remaining items shall be required where applicable. **If all the required and applicable information is not provided, the application will be deemed incomplete and will not be accepted.** For your convenience, please use the check () column on the left to be sure you have all the required and applicable information. **All plans and maps MUST be folded to 8½" x 11"**.

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- | | | | |
|-------------------------------------|-------------------------------------|----|---|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 1) | Application form, completed and signed. |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 2) | Letter of authorization from all property owners authorizing agent to act as applicant, when applicable. |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 3) | Proof of ownership (Grant Deed), if the property has changed title since the last tax roll. |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 4) | A copy of official Assessor's map, showing the property outlined in red. |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 5) | An 8 ½ x 11" vicinity map showing the location of the project in relation to the distance to major roads, intersections, and town sites. |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 6) | Environmental Questionnaire form, completed and signed. |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | 7) | Provide name, mailing address and phone number of all property owners and their agents. |
| <input type="checkbox"/> | <input type="checkbox"/> | 8) | A record search for archaeological resources shall be conducted through the North Central Information Center located at CSU-Sacramento, 6000 J Street, Adams Bldg., #103, Sacramento, CA 95819-6100, phone number (916) 278-6217. If the record search identifies a need for a field survey, a survey shall be required. (A list of Archaeological Consultants and survey requirements is available at the Planning Department.) Archaeological surveys shall meet the "Guidelines for Cultural Resource Studies" approved by the Board of Supervisors, available at the Planning Department. |

DR-R19-0004

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

✓ ✓ 9)

A traffic impact determination shall be provided utilizing El Dorado County's "Transportation Impact Study (TIS) – Initial Determination Form, located on the Planning Services website under "Applications and Forms".

✓ ✓ 10)

If public sewer or water service is proposed, obtain and provide a Facilities Improvement Letter if the project is located within the EID service area, or a similar letter if located in another sewer/water district.

✓ ✓ 11)

If off-site sewer or water facilities are proposed to serve the project, provide four (4) copies of a map showing location and size of proposed facilities. If ground water is to be used for domestic water, submit a report noting well production data for adjacent parcels, or submit a hydrological report prepared by a geologist noting the potential for water based on the nature of project site geology.

NA NA 12)

In an accompanying report, provide the following data for area on each proposed parcel which is to be used for sewage disposal:

- a) The percolation rate and location of test on 4.5 acres or smaller
- b) The depth of soil and location of test
- c) The depth of groundwater and location of test
- d) The direction and percent of slope of the ground
- e) The location, if present, of rivers, streams, springs, areas subject to inundation, rock outcropping, lava caps, cuts, fills, and easements
- f) Identify the area to be used for sewage disposal
- g) Such additional data and information as may be required by the Division Director of Environmental Management to assess the source of potable water, the disposal of sewage and other liquid wastes, the disposal of solid wastes, drainage, and erosion control

✓ NA 13)

Preceding parcel map, final map, or record of survey, if any exists.

✓ ✓ 14)

Preliminary grading, drainage plan, and report. The plan should be of sufficient detail to identify the scope of grading, including quantities, depths of cut and fills (for roads and driveways where cuts/fills exceed 6 feet, and mass pad graded lots), location of existing drainage, proposed modifications, and impacts to downstream facilities. (See Section 110.14.200 of County Grading Ordinance for submittal detail)

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- NA _____ 15) If located within one of the five Ecological Preserve - EP overlay zones (Mitigation Area 0) or in gabbro soils areas (Mitigation Area 1), rare plants may exist on-site. The State Department of Fish & Wildlife will require an on-site biological plant survey to determine the extent and location of rare plants on the project site. Such a survey can only occur from March 15 through August 15 when plants are readily visible. Therefore, if the State Department of Fish & Wildlife requires the plant survey, a substantial delay in the processing of your application could result. To avoid potential delays, you may choose to provide this survey with application submittal. (A list of possible Botanical Consultants is available at Planning Services.)
- NA _____ 16) Name and address of Homeowner's Association, CSA 9 Zone of Benefit, or other road maintenance entity if it exists in the project area.
- NA _____ 17) A site-specific wetland investigation shall be required on projects with identified wetlands as delineated on the applicable U.S.G.S. Quadrangle and/or by site visit, when proposed improvements will directly impact the wetland (reduce the size of the wetland area) or lie near the wetlands. (Available from Planning Services are the U.S. Corps of Engineers requirements for a wetlands delineation study. A list of qualified consultants is also available.)
- NA _____ 18) An acoustical analysis shall be provided whenever a noise-sensitive land use (residences, hospitals, churches, libraries) are proposed adjacent to a major transportation source, or adjacent or near existing stationary noise sources. Such study shall define the existing and projected noise levels and define how the project will comply with standards set forth in the General Plan.
- NA _____ 19) Where potential for special status plant and/or animal habitats are identified on the parcel(s), an on-site biological study shall be required to determine if the site contains special status plant or animal species or natural communities and habitats.
- NA _____ 20) An air quality impact analysis shall be provided utilizing the El Dorado County Air Quality Management District's "Guide to Air Quality Assessment."

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

OAK TREE/OAK WOODLAND REMOVAL

The following supplemental information shall be required if any Oak Woodlands, Individual Native Oak Trees, or Heritage Trees, as defined in Section 130.39.030 (Definitions) will be impacted by the project (i.e. cut down) consistent with Section 130.39.070 (Oak Tree and Oak Woodland Removal Permits – Discretionary Development Projects).

Check (✓)
Applicant County

- NA _____ 1) An Oak Resources Code Compliance Certificate.
- NA _____ 2) Oak Resources Technical Report prepared by a Qualified Professional consistent with Section 2.5 (Oak Resources Technical Reports) of the Oak Resources Management Plan.
- NA _____ 3) Completed Oak Resources Technical Report Checklist, including supplemental data for impacted Individual Native Oak Trees within Oak Woodlands, as applicable.
- NA _____ 4) Security deposit for on-site oak tree/oak woodland retention and/or replacement planting (if proposed as part of project mitigation) consistent with Section 130.39.070.F (Security Deposit for On-Site Oak Tree/Oak Woodland Retention and Section 130.30.070.G (Security Deposit for On-Site Oak Tree/Oak Woodland Replacement Planting).
- NA _____ 5) Reason and objective for Impact to oak trees and/or oak woodlands.

SITE PLAN REQUIREMENTS

Five copies plus an electronic copy (CD-ROM or other medium) of the site plan detailing what exists on the site at time of application shall be submitted on 24" x 36" sheets or smaller, drawn to scale, and of sufficient size to clearly show all details and required data. **All plans MUST be folded to 8 1/2" x 11", plus one 8 1/2" x 11" reduction. NO ROLLED DRAWINGS WILL BE ACCEPTED.** For your convenience, please check the Applicant column on the left to be sure you have all the required submittal information.

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- ✓ _____ 1) Project name (if applicable).
- ✓ _____ 2) Name, address of applicant and designer (if applicable).
- ✓ _____ 3) Date, north arrow, and scale.

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- _____ 4) Entire parcel of land showing perimeter with dimensions.
- _____ 5) All roads, alleys, streets, and their names.
- _____ 6) Location of easements, their purpose and width.
- _____ 7) All existing and proposed uses (i.e. buildings, driveways, dwellings, utility transmission lines, etc.).
- _____ 8) Parking and loading stalls with dimensions (refer to Zoning Ordinance Chapter 130.35 – Parking and Loading, and the Community Design Standards – Parking and Loading Standards)).
- _____ 9) Trash and litter storage or collection areas, and propane tank location(s).
- _____ 10) Total gross square footage of proposed buildings.
- _____ 11) Proposed/existing fences or walls.
- _____ 12) Sign locations and sizes (if proposed). [Refer to Zoning Ordinance Chapter 130.16 - Signs – (Ordinance No. 5025)].
- _____ 13) Pedestrian walkways, courtyards, etc. (if proposed).
- _____ 14) Exterior lighting (if proposed). (Refer to Zoning Ordinance Chapter 130.34 and the Community Design Standards – Outdoor Lighting Standards).
- _____ 15) Existing/proposed water, sewer, septic systems, and wells (if applicable).
- _____ 16) Existing/proposed fire hydrants.
- NA _____ 17) Tentative subdivision or parcel map (if applicable).
- _____ 18) Adjacent parcel owner(s); Assessor's Parcel Number (unless this is included on tentative map).
- NA _____ 19) Public uses (schools, parks, etc.)

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- NA _____ 20) The location, if present, of rock outcropping, lava caps, drainage courses, lakes, canals, reservoirs, rivers, streams, spring areas subject to inundation and wetlands. (Show respective 100-foot and 50-foot septic system setbacks when a septic system is proposed.)
- NA _____ 21) Identify areas subject to a 100-year flood on perennial streams or creeks, and show high water level (100-year) on map. Where this data is not readily available, January 1997 flood level can be shown if known. (Refer to the Federal Emergency Management Agency (FEMA) website).
- NA _____ 22) Note any proposed trails within the project; and where applicable, connection to existing or proposed trail systems.

PRELIMINARY LANDSCAPE PLAN REQUIREMENTS

Required when parking facilities are proposed or otherwise at planner's discretion. (Refer to Zoning Ordinance Chapter 130.35). Five copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 11" x 17" reduction.**

Check (✓)
Applicant County

- ✓ _____ 1) Location, quantity, and a gallon size of proposed plant material (See Zoning Ordinance Section 130.33 – Landscaping Standards, and the Community Design Standards – Landscaping and Irrigation Standards)
- NA _____ 2) Note quantity/type of trees to be removed.
- NA _____ 3) Location, general type (pine, oak, etc.) and size of all existing trees, in those areas that are subject to grading or otherwise may be removed/affected by proposed improvements. Note quantity of trees to be removed.
- ✓ _____ 4) List of both common and botanical names of plant material (use of drought tolerant species is highly recommended). A recommended list of drought-tolerant species is available at Planning Services.
- ✓ _____ 5) Location of irrigation proposed. (NOTE: The final Landscape Plan will ultimately be required to meet the County's Water Conserving Landscape Standards. Copies are available at Planning Services).

PRELIMINARY GRADING AND DRAINAGE PLAN

Required whenever any grading is proposed. Five copies plus an electronic copy (CD-ROM or other medium), **folded to 8½" x 11", plus one 11" x 17" reduction.**

FORMS AND MAPS REQUIRED

Check (✓)
Applicant County

- _____ 1) Contours or slope data (pursuant to Chapter 110.14 of County Code Grading, Erosion, and Sediment Control Ordinance).
- _____ 2) Drainage improvements, culverts, drains, etc.
- _____ 3) Limits of cut and fill.

PLAN OF BUILDING ELEVATIONS

Required whenever a new structure or addition is proposed. Five copies plus an electronic copy (CD- ROM or other medium), **folded to 8½" x 11", plus one 11" x 17" reduction.**

Check (✓)
Applicant County

- _____ 1) Building design, elevations of all sides.
- _____ 2) Exterior materials, finishes, and colors.
- _____ 3) Existing/proposed signs showing location, height and dimensions. Include sign plan for project with multiple businesses.

Planning Services reserves the right to require additional project information as provided by Section 15060 of the California Environment Quality Act, or as required by the General Plan development policies, when such is necessary to complete the environmental assessment.

NOTE: APPLICATION WILL BE ACCEPTED BY APPOINTMENT ONLY. MAKE YOUR APPOINTMENT IN ADVANCE BY CALLING (530) 621-5355.



LEBECK • YOUNG
ENGINEERING, INC.

2019 AUG 14 PM 1:42
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July 30, 2019

Air Park Self Storage

Project Description

Revision to Approved DR14-0004 (Landing Storage Phase 1)

Design Review to modify the existing outdoor RV and Boat Storage Facility (Landing Storage Phase 1) into a self storage facility in 2 phases. The project is also being expanded to include the adjacent parcel (2 existing parcels, plus 1 additional parcel = 3 parcels total). The new project name will be Air Park Self Storage. The revised project is summarized as follows:

The proposed Air Park Self Storage project is located on the west side of Cameron Park Drive approximately 300 feet south of Mira Loma Drive, adjacent to the existing airport runway. The property consists of three parcels proposed to be merged into a single parcel. The three parcels, totaling 3.44 acres are currently zoned CG-TC. The property was previously used for aircraft and RV storage and is composed of paved and unpaved areas with no structures. It is the developer's intention to construct a self storage facility in two phases. Phase 1 proposes the construction of a 1,582 SF office structure and six separate storage structures totaling 57,200 SF as well as an area for 30 outdoor RV storage spaces. Phase 2 will eliminate the RV storage and construct an additional 19,725 SF storage structure.

The development will include grading and paving the site, relocating fencing to property lines, landscaping & irrigation, exterior lighting, installation of a water meter/service and irrigation submeter, a fire protection service, fire hydrants and a sewer service. The project will utilize bio-swales as a water quality measure. No change in zoning is proposed.

Letter of Authorization

The undersigned owner of Record Title Interest in Assessor's Parcel No.'s. 083-182-004, 083-182-005 & 083-182-006, the descriptions of which are filed as Document No. 2019-0002521-00 and Document No. 2019-0006772-00 respectively of Official Records of the County of El Dorado, hereby authorize Lebeck Young Engineering, Inc. to prepare and process the necessary documents for the **Air Park Self Storage design review.**

Signed: 

Date: 7/8/19

Print Name DARIN MOORE

Owner of Record: Darin Moore

Mailing Address: PO Box 1657, Rancho Cordova, CA 95741

Phone: (916) 977-7532

2019 AUG 14 PM 1:42
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PLANNING DEPARTMENT

DR-R19-0004

RECORDING REQUESTED BY

Placer Title Company
Escrow Number: P-297095
Branch: 404K

AND WHEN RECORDED MAIL TO

Darin Moore
P.O. Box 1567
Rancho Cordova, CA 95741

20199000252100002
El Dorado, County Recorder
Janelle K. Horne Co Recorder Office
DOC 2019-0002521-00
Acct 1001-Placer Title Company
Friday, JAN 25, 2019 09:22:22
Ttl Pd \$732.00 Nbr-0001985651
MMF/C1/1-2

A.P.N.: 083-182-004-000, 083-182-005-000

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

The undersigned grantor(s) declare(s):

Documentary transfer tax is \$715.00 City Transfer Tax: \$0.00

(X) Unincorporated Area () City of Cameron Park

(X) computed on full value of property conveyed, or

() computed on full value less value of liens and encumbrances remaining at time of sale.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **AM 2 PM Properties, LLC, a limited liability company**

Hereby GRANT(S) to **Darin Moore, as unmarried man**

The land described herein is situated in the State of California, County of El Dorado, unincorporated area, described as follows:

Parcels B and C, as shown on that certain Parcel Map entitled "Lot 262 Air Park Estates and Resubdivision of Lot 459 of Cameron Park North Unit No. 1, a Portion Section 28, T.10N., R.09E., M.D.M.", filed in the Office of the County Recorder, County of El Dorado, State of California, on September 14, 1982, in Book 31 of Parcel Maps, at Page 63.

APN: 083-182-004-000 and 083-182-005-000

Dated: January 23, 2019

2019 AUG 14 PM 1:42
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PLANNING DEPARTMENT

MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE; IF NO PARTY SHOWN, MAIL AS DIRECTED ABOVE

SAME AS ABOVE

Name

Street Address

City & State

Page 1 of 2

DR-R19-0004

Grant Deed - Sale

AM 2 PM Properties, LLC, a limited liability company

By: Alan Ming
Alan Ming, Manager

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of El Dorado) ss.

On 1-23-19 before me,
L. Collins

Notary Public personally appeared Alan Ming

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the Instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct. WITNESS my hand and official seal.

SIGNATURE [Handwritten Signature]





COMMUNITY DEVELOPMENT SERVICES LONG RANGE PLANNING

2850 Fairlane Court, Placerville, CA 95667
Phone (530) 621-4650, Fax (530) 642-0508

2019 AUG 14 PM 1:42

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Transportation Impact Study (TIS) – Initial Determination

The information provided with this form will be used by County staff to determine if the proposed project will be required to complete a Transportation Impact Study (TIS) or an On-Site Transportation Review (OSTR). If one or both are required, County staff will contact the applicant with more information about the required studies. Both studies are described in the TIS Guidelines, which can be found on the County's website. **An OSTR is typically required for all projects.**

Complete and submit this form along with a detailed project description and a site plan by mail, fax or email.

Mail: CDS, Long Range Planning
Attn: Natalie Porter
2850 Fairlane Court
Placerville, CA 95667

Fax: (530) 642-0508
Phone: (530) 621-5442
Email: natalie.porter@edcgov.us

Applicant Information:

Name: Superior Storage Group
Address: 4120 Douglas Blvd. #306-504, Granite Bay CA 95746

Phone #: 916-780-0500
Email: dave@superiorstoragegroup

Project Information:

Name of Project: Air Park Self Storage
Project Location: 3200 Cameron Park Drive
APN(s): 083-182-004, 05 & 006

Planning Number: DR14-0004
Bldg Size: 78,507 sf total
Project Planner: _____
Number of units: 563

Description of Project: (Use, Number of Units, Building Size, etc.)

It is the developer's intention to construct a self storage facility in two phases. Phase 1 proposes the construction of a 1,582 SF office structure and seven separate storage structures totaling 57,200 SF as well as an area for 30 outdoor RV storage spaces. Phase 2 will eliminate the RV storage and construct an additional 19,725 SF storage structure. Total number of storage units proposed at Phase 2 completion is 563.

Please attach a project site plan

If an OSTR is required, the following information shall be evaluated and the findings signed and stamped by a registered Traffic Engineer or Civil Engineer, and shall be included with the project submittal:

1. Existence of any current traffic problems in the local area such as a high-accident location, non-standard intersection or roadway, or an intersection in need of a traffic signal
2. Proximity of proposed site driveway(s) to other driveways or intersections
3. Adequacy of vehicle parking relative to both the anticipated demand and zoning code requirements
4. Adequacy of the project site design to fully satisfy truck circulation and loading demand on-site, when the anticipated number of deliveries and service calls may exceed 10 per day
5. Adequacy of the project site design to provide at least a 25 foot minimum required throat depth (MRTD) at project driveways, include calculation of the MRTD
6. Adequacy of the project site design to convey all vehicle types
7. Adequacy of sight distance on-site
8. Queuing analysis of "drive-through" facilities

DR-R19-0004

Rev 8/20/18



COMMUNITY DEVELOPMENT SERVICES LONG RANGE PLANNING

2850 Fairlane Court, Placerville, CA 95667
Phone (530) 621-4650, Fax (530) 642-0508

Transportation Impact Study (TIS) – Initial Determination (Page 2)

TO BE COMPLETED BY COUNTY STAFF:

The following project uses are typically exempt from the preparation of a TIS:

- | | |
|--|--|
| <input type="checkbox"/> 4 or less single family homes | <input type="checkbox"/> 28,000 square feet or less for warehouse |
| <input type="checkbox"/> 4 or less multi-family units | <input type="checkbox"/> 38,000 square feet or less for mini-storage |
| <input type="checkbox"/> 2,300 square feet or less for shopping center | <input type="checkbox"/> 20,000 square feet or less for churches |
| <input type="checkbox"/> 8,600 square feet or less for general office | <input type="checkbox"/> 20 or less sites for campgrounds |
| <input type="checkbox"/> 10,000 square feet or less for industrial | <input type="checkbox"/> 20 or less rooms for hotel/motel/B&B |

None apply – a TIS is required with applicable fee.

County Staff Determination:

The TIS or OSTR may be waived if no additional vehicle trips will be generated by the proposed change, no up-zoning is requested, or no intensification of use is requested. Long Range Planning staff may waive the TIS requirement. The Transportation Director or his/her designee may waive the OSTR requirement.

- TIS and OSTR are both waived. No further transportation studies are required.
- On-Site Transportation Review is required. A TIS is not required. The OSTR shall address all items listed, unless otherwise noted.
- The TIS and OSTR are required. An initial deposit for TIS scoping and review is required by CDS Long Range Planning staff. See Attached TIS Initial Fund Request letter.

TIS waiver approved by:

CDS Long Range Planning Signature

Date

ADH TS

OSTR waiver approved by:

Department of Transportation Director or Designee

Date

PRINT

20199000677200004
El Dorado, County Recorder
Janelle K. Horne Co Recorder Office
DOC 2019-0006772-00
Acct 1001-Placer Title Company
Friday, MAR 01, 2019 12:04:16
Ttl Pd \$892.00 Nbr-0001992192
MMF/C1/1-4

RECORDING REQUESTED BY:

Placer Title Company
Branch Number: 404K

WHEN RECORDED MAIL TO:

Darin Moore
P.O. Box 1657
Rancho Cordova, CA 95741

Order No: P-304375

APN: 083-182-006-000

Grant Deed

(Please fill in document title(s) on this line)

- Exempt from fee per GC27388.1(a)(2) due to being recorded in connection with concurrent transfer that is subject to the imposition of documentary transfer tax, or,
- Exempt from fee per GC27388.1(a)(1) due to the maximum fees being paid on documents in this transaction, or,
- Partially exempt from fee per GC27388.1(a)(1). Only \$75.00 to be charged as \$150.00 in fees has been paid on documents recorded immediately prior hereto or,
- Exempt from fee per GC27388.1(a)(2) due to being recorded in connection with concurrent transfer that is a residential dwelling to an owner-occupier, or,
- Exempt from the fee per GC27388.1(a)(1); Not related to real property, or,
- Exempt from fee under GC27388.1(a)(1) for the following reasons:

NOTE: The following exemptions may not be acceptable for use in all counties:

- Exempt from fee per GC27388.1 due to being recorded in connection with a transfer that was subject to documentary transfer tax which was paid on document recorded previously on (date) as document number of Official Records, or,
- Exempt from fee per GC27388.a due to the maximum fees having been paid on documents in the transaction(s) recorded previously on (date) as document number(s) of Official Records, or,
- Partially exempt from fee per GC27388.1. Only \$75.00 to be charged as \$150.00 in fees having been paid on documents in this transaction(s) recorded previously on (date) as document number(s) of Official Records, or,
- Exempt from fee per GC27388.1 due to it being recorded in connection with a transfer of real property that is a residential dwelling to an owner-occupier. The recorded document transferring the dwelling to the owner-occupier was recorded on (date) as document number(s).

THIS PAGE ADDED TO PROVIDE SENATE BILL 2 EXEMPTION INFORMATION
(Additional recording fee applies)

DR-R19-0004

2019 AUG 14 PM 1:42
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PLANNING DEPARTMENT

RECORDING REQUESTED BY

Placer Title Company
Escrow Number: P-304375
Branch: 404K

AND WHEN RECORDED MAIL TO

Darin Moore
P.O. Box 1657
Rancho Cordova, CA 95741

A.P.N.: 083-182-006-000

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

The undersigned grantor(s) declare(s):

Documentary transfer tax is \$869.00 City Transfer Tax: \$0.00

(X) Unincorporated Area () City of Cameron Park

(X) computed on full value of property conveyed, or

() computed on full value less value of liens and encumbrances remaining at time of sale.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **Affordable RV Adventures, Inc., a California corporation**

Hereby GRANT(S) to **Darin Moore, an unmarried man**

The land described herein is situated in the State of California, County of El Dorado, unincorporated area, described as follows:

Parcel D, as shown on that certain Parcel Map entitled "Lot 262 Air Park Estates and Resubdivision of Lot 458 of Cameron Park North Unit No. 1, a portion Section 28, T.10N., R.9E., M.D.M.", filed in the Office of the County Recorder of El Dorado County, State of California, on September 14, 1982, in Book 31 of Parcel Maps, at Page 63.

APN: 083-182-006-000

Dated: February 27, 2019

MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE; IF NO PARTY SHOWN, MAIL AS DIRECTED ABOVE

SAME AS ABOVE

Name

Street Address

City & State

Page 1 of 2

Grant Deed - Sale

Affordable RV Adventures, Inc., a California corporation

By: *David M. Loja*
David M. Loja, President

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }
County of Contra Costa } ss.

On Feb 28, 2019 before me,

Laramays
Notary Public personally appeared David M. Loja

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct. WITNESS my hand and official seal.

SIGNATURE *Lara Mays*






GOVERNMENT CODE 27361.7

CLARIFICATION OF NOTARY SEAL

Under the provisions of Government Code 27361.7, I/we hereby certify, under penalty of perjury, that the Notary Seal on the attached Document reads as follows:

Name of Notary Lara Mays
Date Commission Expires 3/26/20
Commission Number 2144365
Place of Execution Contra Costa County
Date of Execution 2/28/19

Executed by:
Placer Title Company

By: 
Name and Title Printed: Jenny Vega, escrow officer
Date of Clarification: March 1, 2019



COMMUNITY DEVELOPMENT SERVICES PLANNING AND BUILDING DEPARTMENT

2850 Fairlane Court, Placerville, CA 95667
Phone: (530) 621-5355 www.edcgov.us/Planning/

2019 AUG 14 PM 1:42
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PLANNING DEPARTMENT

EL DORADO COUNTY PLANNING SERVICES ENVIRONMENTAL QUESTIONNAIRE

File Number DR14-0004

Date Filed _____

Project Title Air Park Self Storage Lead Agency _____

Name of Owner Darin Moore Telephone 916-635-1718

Address P.O. Box 1567, Rancho Cordova, CA 95746

Name of Applicant Superior Self Storage Group/Dave Kindelt Telephone 916-786-0500

Address 4120 Douglas Boulevard, Granite Bay CA 95746

Project Location 3200 Cameron Park Drive, Cameron Park, CA 95682

Assessor's Parcel Number(s) 083-182-004, 005 & 006 Acreage 3.44 total Zoning CG-DC-AA

Please answer all of the following questions as completely as possible. Subdivisions and other major projects will require a Technical Supplement to be filed together with this form.

- Type of project and description:
Merge three parcels and construct a self storage facility.
- What is the number of units/parcels proposed? 1 parcel with 8 structures (office & 563 storage units)

GEOLOGY AND SOILS

- Identify the percentage of land in the following slope categories:
95%- 0 to 10% 5%- 11 to 15% 0%- 16 to 20% 0%- 21 to 29% 0%- over 30%
- Have you observed any building or soil settlement, landslides, rock falls or avalanches on this property or in the nearby surrounding area? No
- Could the project affect any existing agriculture uses or result in the loss of agricultural land? No

DR-R19-0004

DRAINAGE AND HYDROLOGY

6. Is the project located within the flood plain of any stream or river? No
If so, which
one? _____
7. What is the distance to the nearest body of water, river, stream or year-round drainage channel?
1,345' Name of the water body? Cameron Park Lake
8. Will the project result in the direct or indirect discharge of silt or any other particles in noticeable amount into any lakes, rivers or streams? No
9. Will the project result in the physical alteration of a natural body of water or drainage way?
If so, in what way? No
10. Does the project area contain any wet meadows, marshes or other perennially wet areas?
No

VEGETATION AND WILDLIFE

11. What is the predominant vegetative cover on the site (trees, brush, grass, etc.)? Estimate percentage of each:
Grass & weeds over 43% of site
12. How many trees of 6-inch diameter will be removed when this project is implemented?
None

FIRE PROTECTION

13. In what structural fire protection district (if any) is the project located? Cameron Park Fire Dept.
14. What is the nearest emergency source of water for fire protection purposes (hydrant, pond, etc.)? Fire Hydrant at 160'
15. What is the distance to the nearest fire station? 2,350
16. Will the project create any dead-end roads greater than 500 feet in length? No
17. Will the project involve the burning of any material including brush, trees and construction materials? No

NOISE QUALITY

18. Is the project near an industrial area, freeway, major highway or airport? Yes
If so, how far? Project located at Cameron Park Airport
19. What types of noise would be created by the establishment of this land use, both during and after construction? Typical construction noise during construction, virtually none post Const.

AIR QUALITY

20. Would any noticeable amounts of air pollution, such as smoke, dust or odors, be produced by this project? No

WATER QUALITY

21. Is the proposed water source public or private, treated or untreated?
22. What is the water use (residential, agricultural, industrial or commercial)? Commercial

AESTHETICS

23. Will the project obstruct scenic views from existing residential areas, public lands, and/or public bodies of water or roads? No

ARCHAEOLOGY/HISTORY

24. Do you know of any archaeological or historical areas within the boundaries or adjacent to the project? (e.g., Indian burial grounds, gold mines, etc.) No

SEWAGE

25. What is the proposed method of sewage disposal? septic system sanitation district
Name of district: EID
26. Would the project require a change in sewage disposal methods from those currently used in the vicinity? No

TRANSPORTATION

27. Will the project create any traffic problems or change any existing roads, highways or existing traffic patterns? No
28. Will the project reduce or restrict access to public lands, parks or any public facilities?
No

GROWTH-INDUCING IMPACTS

29. Will the project result in the introduction of activities not currently found within the community?
No
30. Would the project serve to encourage development of presently undeveloped areas, or increases in development intensity of already developed areas (include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?
No

31. Will the project require the extension of existing public utility lines? No
If so, identify and give distances: 8" fire protection service, ~50 lf

GENERAL

32. Does the project involve lands currently protected under the Williamson Act or an Open Space Agreement? No
33. Will the project involve the application, use or disposal of potentially hazardous materials, including pesticides, herbicides, other toxic substances or radioactive material?
No
34. Will the proposed project result in the removal of a natural resource for commercial purposes (including rock, sand, gravel, trees, minerals or top soil)? No
35. Could the project create new, or aggravate existing health problems (including, but not limited to, flies, mosquitoes, rodents and other disease vectors)? No
36. Will the project displace any community residents? No

DISCUSS ANY YES ANSWERS TO THE PREVIOUS QUESTIONS (attached additional sheets if necessary)

MITIGATION MEASURES (attached additional sheets if necessary)

Proposed mitigation measures for any of the above questions where there will be an adverse impact:

Form Completed by: Ron Personius Date: 7/29/2019



El Dorado Irrigation District

2019 AUG 14 PM 1:42
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PLANNING DEPARTMENT

Letter No.: DS0719-151

July 25, 2019

VIA E-MAIL

Dave Kindelt
Superior Storage Group
4120 Douglas Boulevard, Suite 306-504
Granite Bay, CA 95746
Email: dave@superiorstoragegroup.com

Subject: Facility Improvement Letter (FIL) 3102FIL, Superior Self Storage-Cameron Park Drive
Assessor's Parcel No. 083-182-004, -005 & -006 (Cameron Park)
EDC Project No: DR14-0004

Dear Mr. Kindelt:

This letter is in response to your request dated June 11, 2019 and is valid for a period of three years. If facility improvement plans for your project are not submitted to El Dorado Irrigation District (EID or District) within three years of the date of this letter, a new Facility Improvement Letter will be required.

Design drawings for your project must be in conformance with the District's *Water, Sewer and Recycled Water Design and Construction Standards*.

This proposed project is a storage facility with commercial buildings and outdoor RV parking on 3.44 acres. Water service, sewer service, private fire service and fire hydrants are requested. The property is within the District boundary.

This letter is not a commitment to serve, but does address the location and approximate capacity of existing facilities that may be available to serve your project.

Water Supply

As of January 1, 2017, there were 12,630 equivalent dwelling units (EDUs) of water supply available in the Western/Eastern Water Supply Region. Your project as proposed on this date would require 1 EDU of water supply.

Water Facilities

A 12-inch water line exists in Cameron Park Drive (see enclosed System Map). The Cameron Park Fire Department has determined that the minimum fire flow for this project is 1,500 GPM

DR-R19-0004

for a 2-hour duration while maintaining a 20-psi residual pressure. According to the District's hydraulic model, the existing system can deliver the required fire flow. In order to provide this fire flow and receive service, you must construct a water line extension connecting to the 12-inch water line previously identified. The hydraulic grade line for the existing water distribution facilities is 1,600 feet above mean sea level at static conditions and 1,530 feet above mean sea level during fire flow and maximum day demands. The flow predicted above was developed using a computer model and is not an actual field flow test.

Sewer Facilities

There is an 8-inch sewer line abutting the southwest property line of the parcels to be developed. This sewer line has adequate capacity at this time. Service stubs have been provided for all of the project parcels (see enclosed system map). The preliminary site plans submitted with the FIL application propose structures to be located in extremely close proximity to the District's facilities which will require access for maintenance and repairs. Any structures proposed adjacent to EID facilities should allow adequate space for future excavations in the event of repairs or pipeline replacement. The District will also require access to the existing sewer manhole and any sewer cleanouts (services) that are to remain in place as part of the project. Your project as proposed on this date would require 1 EDU of sewer service.

Easement Requirements

Proposed water lines, sewer lines and related facilities must be located within an easement accessible by conventional maintenance vehicles. When the water lines or sewer lines are within streets, they shall be located within the paved section of the roadway. No structures will be permitted within the easements of any existing or proposed facilities. The District must have unobstructed access to these easements at all times, and generally does not allow water or sewer facilities along lot lines.

Easements for any new District facilities constructed by this project must be granted to the District prior to District approval of water and/or sewer improvement plans, whether onsite or offsite. In addition, due to either insufficient or prescriptive easements for some older facilities, any existing onsite District facilities that will remain in place after the development of this property must also have an easement granted to the District.

Environmental

The County is the lead agency for environmental review of this project per Section 15051 of the California Environmental Quality Act Guidelines (CEQA). The County's environmental document should include a review of both offsite and onsite water and sewer facilities that may be constructed by this project. You may be requested to submit a copy of the County's environmental document to the District if your project involves significant off-site facilities. If the County's environmental document does not address all water and sewer facilities and they

are not exempt from environmental review, a supplemental environmental document will be required. This document would be prepared by a consultant. It could require several months to prepare and you would be responsible for its cost.

Summary

Service to this proposed development is contingent upon the following:

- The availability of uncommitted water supplies at the time service is requested;
- Approval of the County's environmental document by the District (if requested);
- Executed grant documents for all required easements;
- Approval of an extension of facilities application by the District;
- Approval of facility improvement plans by the District;
- Construction by the developer of all onsite and offsite proposed water and sewer facilities
- Acceptance of these facilities by the District; and
- Payment of all District connection costs.

Services shall be provided in accordance with El Dorado Irrigation District Board Policies and Administrative Regulations, as amended from time-to-time. As they relate to conditions of and fees for extension of service, District Administrative Regulations will apply as of the date of a fully executed Extension of Facilities Agreement.

If you have any questions, please contact Marc Mackay at (530) 642-4135.

Sincerely,



FOR

Michael J. Brink, P.E.
Supervising Civil Engineer

MB/MM:gp

Enclosures: System Map

cc w/ System Map:

Tiffany Schmid, Director
El Dorado County Development Services Department
Via email – tiffany.schmid@edcgov.us

Letter No.: DS0719-151
To: Superior Storage Group

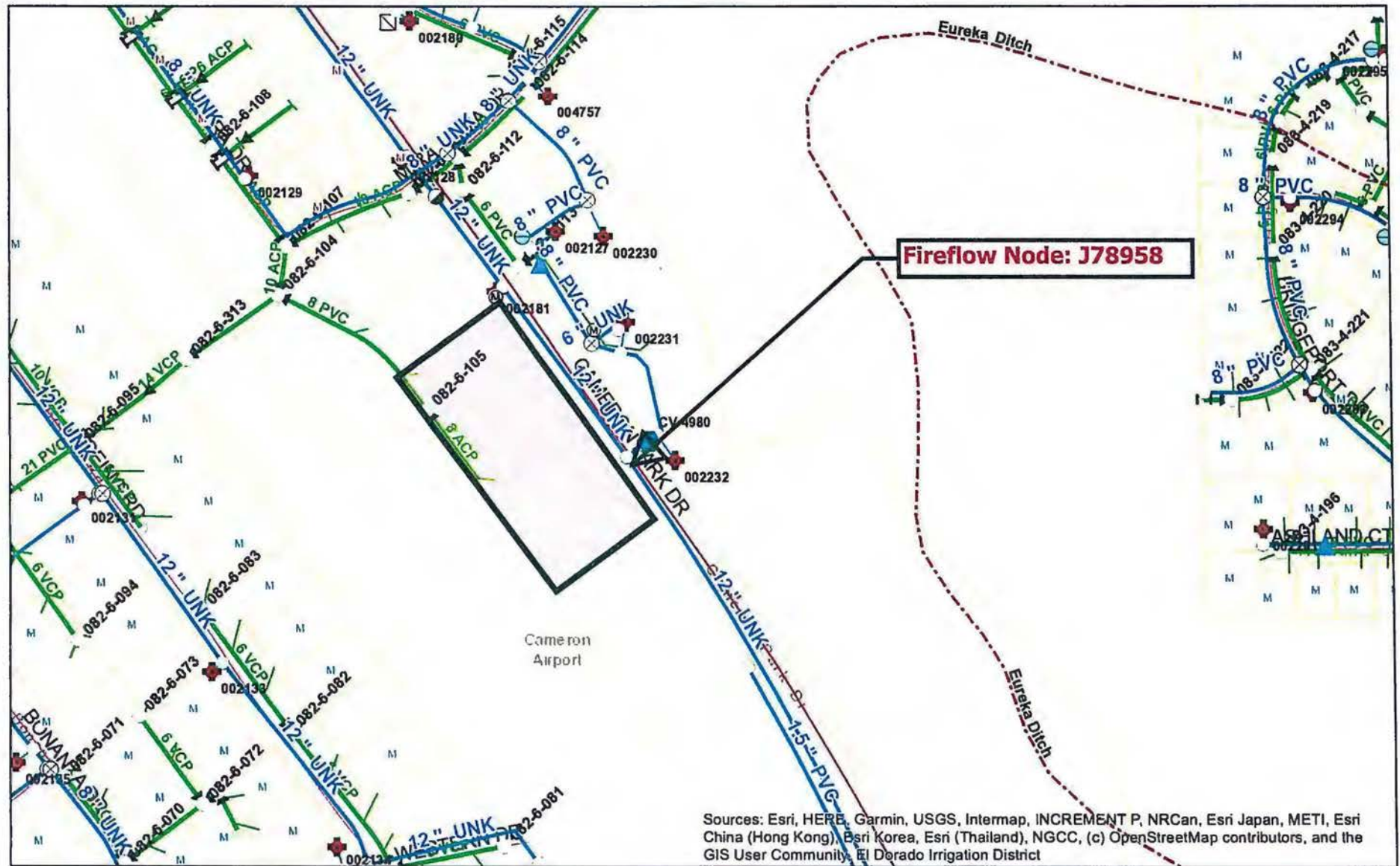


July 25, 2019
Page 4 of 4

Bobbie Lebeck, P.E.
Lebeck Young Engineering Inc.
Via email – bobbie@lebeckyoung.com

Michael Smith, Battalion Chief/ Fire Marshal
Cameron Park Fire Department
Via email – mike.smith@fire.ca.gov

ArcGIS Web Map



Scale: NTS

Date: July 24, 2019

Project: Superior Self Storage-Cameron Park Drive

APN: 083-182-004,005 & 006



Author: EID
7/23/2019 9:24:13 AM
WARNING: No accuracy of map implied until field checked by EID. Exact pipe locations

Cameron Park Fire Department
In cooperation with the
California Department of Forestry and Fire Protection
CAL FIRE

Fire Station 89
3200 Country Club Drive
Cameron Park, CA 95682

(530) 677-6190
(530) 672-2248 FAX



Fire Station 88
2961 Alhambra Drive
Cameron Park, CA 95682

(530) 672-7350
(530) 672-7352 FAX

Date: 7/21/19

Contact person: Ron Personius
Company Name: Lebeck -Young Engineering, Inc.
Phone: 530.677.4080
APN #: 083-182-04, 083-182-05, 083-182-06
Project Name: Superior Self-Storage

**Re: Superior Self-Storage Group (Dave Kindelt), located at Cameron Park Airport
3200 Cameron Park Drive, Cameron Park, Ca. 95682**

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PLANNING DEPARTMENT

Dear Mr. Personius,

As you have requested I have made a determination of required fire flow from your emails on May 3, May 10, and May 15, 2019, proposed for seven, one-story, buildings, total of 80,377 square feet. The required fire flow for this complex is based on the largest building. All building(s) shall be fire sprinklered in accordance with NFPA Standard 13 and Fire Department requirements. This fire flow rate shall be in excess of the maximum daily consumption rate for this project. A set of engineering calculations reflecting the fire flow capabilities of this system shall be supplied to the Cameron Park Fire Department for review and approval.

1. The water system with the purpose of fire protection for this commercial development is a required Fire Flow of 3,000 gpm for the project listed above. With all building(s) being required to be equipped with fire sprinklers and installed in accordance with NFPA Standard 13 and Chapter 9 of the 2016 California Fire Code. Considering a 50% reduction for fire sprinklers, the required flow is 1,500 gallons per minute with a minimum residual pressure of 20 psi for a three-hour duration. The fire flow is based on a/n Type II-B construction.
2. Provide documentation from EID to the fire department to show that the system will meet required fire flow for this project.
3. Fire hydrant(s) will be required for this project. The hydrant manufacturer and type shall be approved by EID and the Fire Department. The location of the hydrant(s) shall be approved by the Fire Department during Civil Plan Review. A hydrant shall be within fifty (50) feet of the fire department connection. Fire hydrant spacing shall be in accordance with Section 507 and Appendix C of California Fire Code. The spacing between hydrants in this project shall not exceed 300 feet. Exception: For Group R-3 and Group U Occupancies, equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.1, the distance requirement shall be not more than 500 feet.
4. In order to enhance nighttime visibility, each hydrant shall be painted safety red enamel and marked in the roadway with a blue reflective marker as specified by the Fire Department and State Fire Safe Regulations.
5. Fire department road access shall extend around all portions of the building or within 150 feet of any portion, be a minimum of 26 feet wide per California Fire Code, Appendix D, Fire Apparatus Access Roads and meet El Dorado County DOT Standards. All fire lanes and appurtenances shall be marked with red curbs and staking

DR-R19-0004

Cameron Park Fire Department

In cooperation with the
California Department of Forestry and Fire Protection
CAL FIRE

Fire Station 89
3200 Country Club Drive
Cameron Park, CA 95682

(530) 677-6190
(530) 672-2248 FAX



Fire Station 88
2961 Alhambra Drive
Cameron Park, CA 95682

(530) 672-7350
(530) 672-7352 FAX

“NO PARKING FIRE LANE” and signs stating “NO PARKING FIRE LANE. These will be identified during the plan review process.

6. Any Fire Department Connection (FDC) to the sprinkler/standpipe system shall be positioned so as not to be obstructed by a parked vehicle.
7. California Fire Code, Chapter 5, Fire Service Features, 2016 edition, shall be adhered to.
8. All fire apparatus access roads shall be made of asphalt, concrete, or other approved driving surface capable of supporting the imposed load of fire apparatus.
9. Any access gate(s) shall comply with El Dorado County Regional Fire Protection Standard.
10. In order to provide this project with adequate fire and emergency medical response during construction, all Fire Access Roads and fire hydrant systems shall be constructed and approved prior to combustibles being brought on site. “NO PARKING FIRE LANE” signs shall be posted during construction as needed.
11. This project shall be prohibited from installing any type of traffic calming device that utilizes a raised bump/dip section of roadway.
12. Project Manager or designee shall comply with all FCC requirements before the installation process. You will need to go to <https://oeaaa.faa.gov/oeaaa/external/portal.jsp> to fill out and submit all required paperwork. If you have any questions regarding this request contact Cameron Park Airpark Manager Kevin Cooksy at 530.676.8316.
13. If any antenna(s) or a tower will be installed on any building the Project Manager or designee shall comply with all FCC requirements before the installation process. You will need to go to <https://www.fcc.gov/general/tower-and-antenna-siting> to fill out and submit all required paperwork. If you have any questions regarding this request contact Cameron Park Airpark Manager Kevin Cooksy at 530.676.8316.
14. Payment for Fire Prevention Fees for Services in Full.

Nothing in this review is intended to authorize any aspects of the work, which is not in accordance with applicable codes, local fire department requirements, manufacturer’s requirements, and/or the contract documents. The Fire Department reserves the right to make amendments to the aforementioned requirements, as deemed necessary and as conditions warrant.

Thank you for your cooperation and keeping Cameron Park “Fire Safe”.

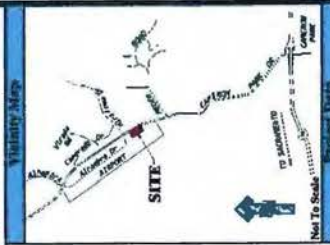
Sincerely,

Michael Smith
Battalion Chief / Fire Marshal
Office: (530) 672-7336
Cell: (530) 708-2716
mike.smith@fire.ca.gov

Revised Preliminary Site Plan For
Air Park Self Storage - Phase 1
 Lots B, C & D, PM 31/63 Air Park Estates - 3200 Cameron Park Drive, Cameron Park, CA
 August 2019

2019 AUG 14 PM 1:43

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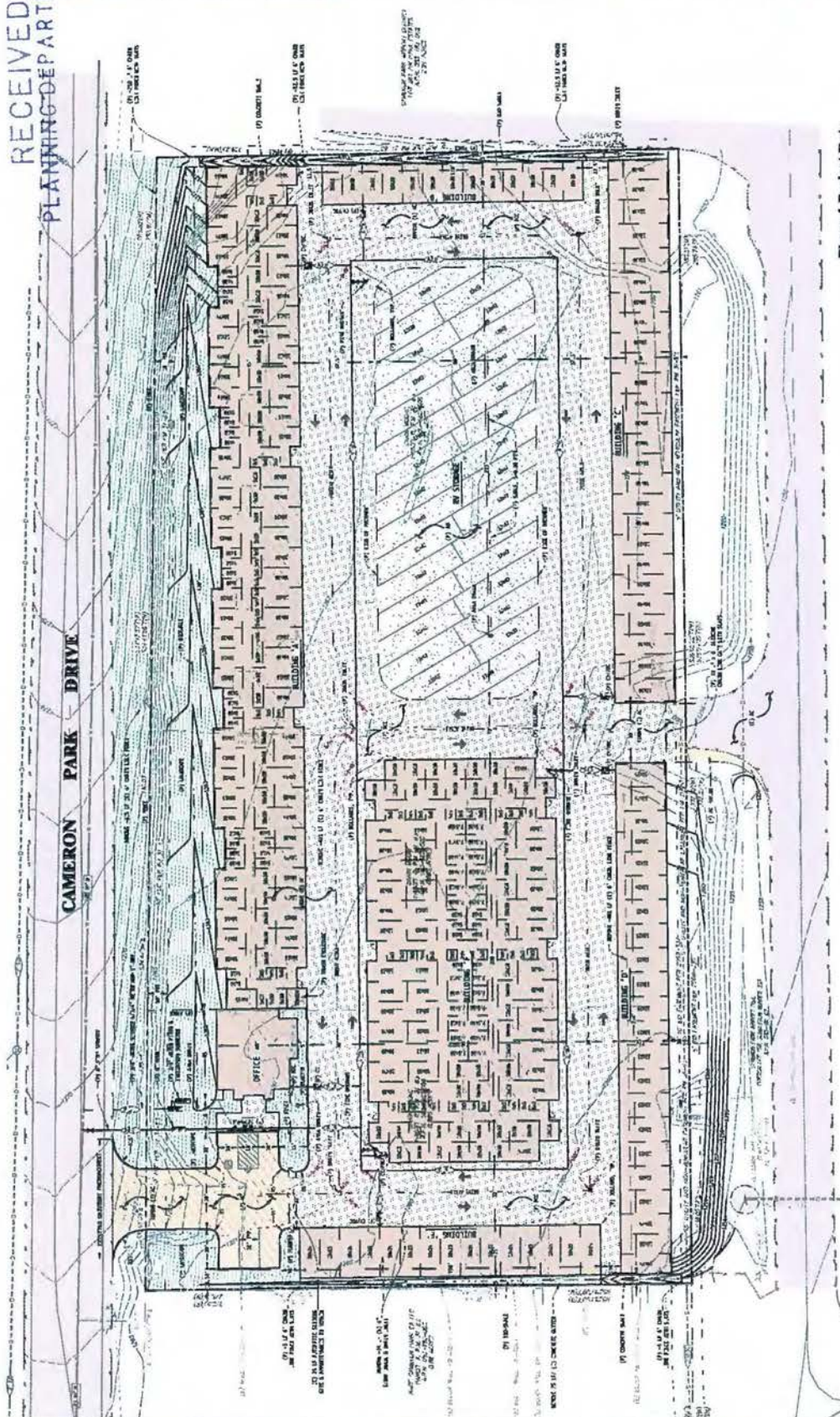
Not To Scale

DATE: 08/14/19
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: AIR PARK SELF STORAGE - PHASE 1

LEBECKE + YOUNG
 ENGINEERING, INC.
 10000 CAMERON PARK DRIVE
 CAMERON PARK, CA 95682
 TEL: 530-885-1100
 WWW.LEBECKEYOUNG.COM

CONTRACT NO. 19-0004
 SHEET NO. 1 OF 1

PROJECT INFORMATION	
PROJECT NAME	AIR PARK SELF STORAGE - PHASE 1
CLIENT	[Name]
DATE	08/14/19
SCALE	AS SHOWN
DRAWN BY	[Name]
CHECKED BY	[Name]
DATE	08/14/19
PROJECT NO.	19-0004
SHEET NO.	1 OF 1



Phase 1 Project Data

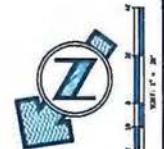
GRAND TOTAL AREA = 180,000 SQ. FT. (4.16 ACRES)

Category	Area (SQ. FT.)
STORAGE	150,000
OFFICE	10,000
PARKING	15,000
LANDSCAPING	5,000
UTILITIES	5,000
STORAGE TOTAL	175,000

OFFICE: 10,000 SQ. FT.
 PROJECT TOTAL: 180,000 SQ. FT.

STORAGE: 150,000 SQ. FT.
 OFFICE: 10,000 SQ. FT.
 PARKING: 15,000 SQ. FT.
 LANDSCAPING: 5,000 SQ. FT.
 UTILITIES: 5,000 SQ. FT.

TOTAL SPACES: 180
 TOTAL SPACES IN SPACES



DR-R19-0004



DR14-0004

Date: 8/1/2019

2019 AUG 14 PM 1:41

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PLANNING DEPARTMENT

Transmittal Letter from:



LEBECK · YOUNG
ENGINEERING, INC.

3430 Robin Lane, Bldg #2
Cameron Park, CA 95682
(530) 677-4080; Fax (530) 677-4096

To:
County of El Dorado
Development Services Department
2850 Fairlane Court, Building C
Placerville, CA 95667

**Regarding: Major revision to Approved DR14-0004, Air Park Self Storage.
(formerly Landing Storage Phase 1)**

# copies	Description
1	Project Narrative
1	Design Review Application, signed
1	Consolidated Agreement to Pay, signed
1	Check payable to EDC in the amount of \$7,836.00
1	Letter of Authorization, signed
1	Grant Deed for APN: 083-182-006
1	Grant Deed for APNs: 083-182-004 & 005
1	Assessor's Map 83:18
1	Vicinity Map
1	Environmental Questionnaire
1	Transportation Impact Study – Initial Determination
1	EID Facility Improvement Letter
1	Fire Flow Letter
1	Parcel Map 31/63
5	Revised Preliminary Site Plan, Phase 1
5	Revised Preliminary Site Plan, Phase 2
5	Revised Preliminary Grading & Drainage Plan, Phase 1
5	Revised Preliminary Grading & Drainage Plan, Phase 2
5	Revised Preliminary Utility Plan, Phase 1
5	Revised Preliminary Utility Plan, Phase 2
5	Revised Schematic Landscape Plan
5 Sets	Architectural Plans & Elevations
1	Revised Preliminary Site Plan, Phase 2 (reduced)

DR-R19-0004

1	Revised Preliminary Grading & Drainage Plan, Phase 2 (reduced)
1 Set	Building Elevations (reduced)
1	Revised Schematic Landscape Plan (reduced)

Comments:

Please note that this is a Major Revision to an Approved Design Review application. This revision is an expansion of the previously approved "DR14-0004/Landing Storage Phase 1, now known as "Air Park Self Storage". The expansion involves the addition of a third, adjacent, parcel to the project as well as the addition of multiple storage structures. See enclosed Project Narrative.

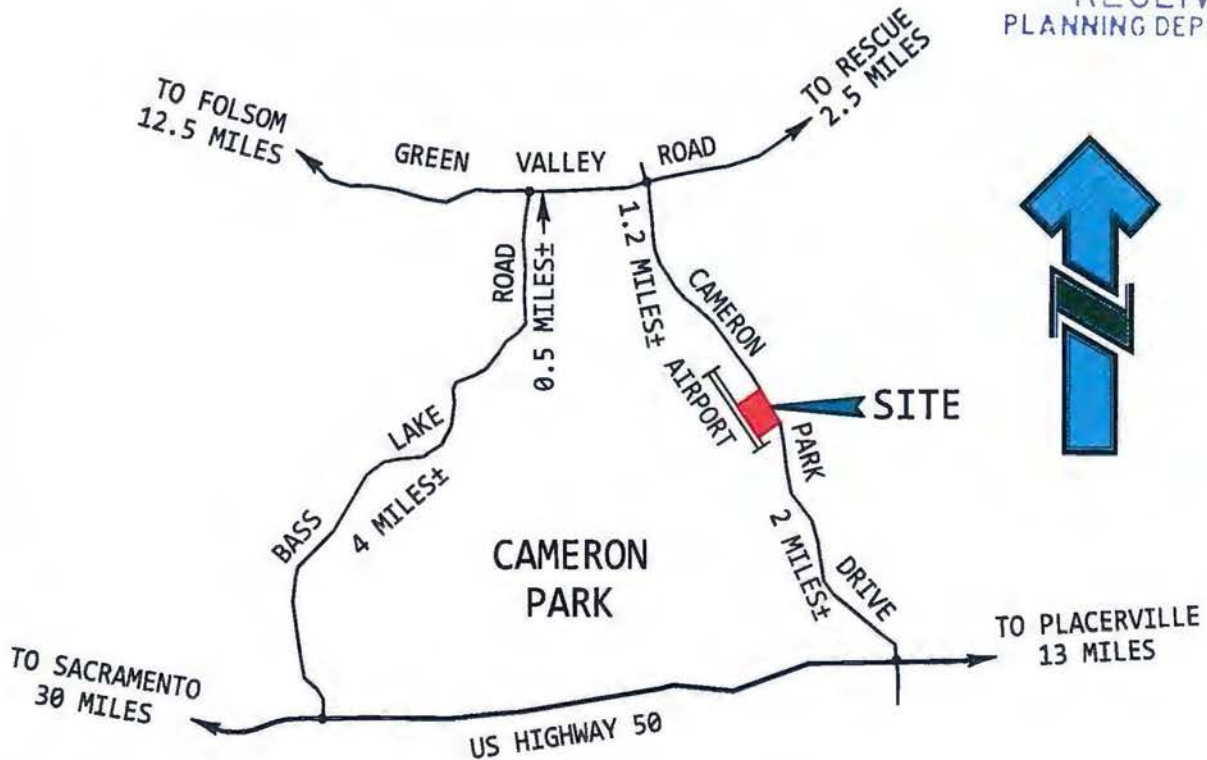
**Sincerely,
Ron Personius**

Air Park Self Storage

3200 Cameron Park Drive, Cameron Park, CA
APNs: 083-182-004, 005 & 006

2019 AUG 14 PM 1:42

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PLANNING DEPARTMENT



VICINITY MAP

NOT TO SCALE

NAME OF APPLICANT:

SUPERIOR STORAGE GROUP
c/o DAVE KINDELT
4120 DOUGLAS BOULEVARD, #306-524
GRANITE BAY, CA 95746
916-786-0500

OWNER OF RECORD:

DARIN MOORE
P.O. BOX 1567
RANCHO CORDOVA, CA 95741
916-635-1718



LEBECK ■ YOUNG ENGINEERING, INC.

3430 ROBIN LANE, BLDG. #2
CAMERON PARK, CA 95682

Ph. (530) 677-4080 Fax. (530) 677-4096

DR-R19-0004

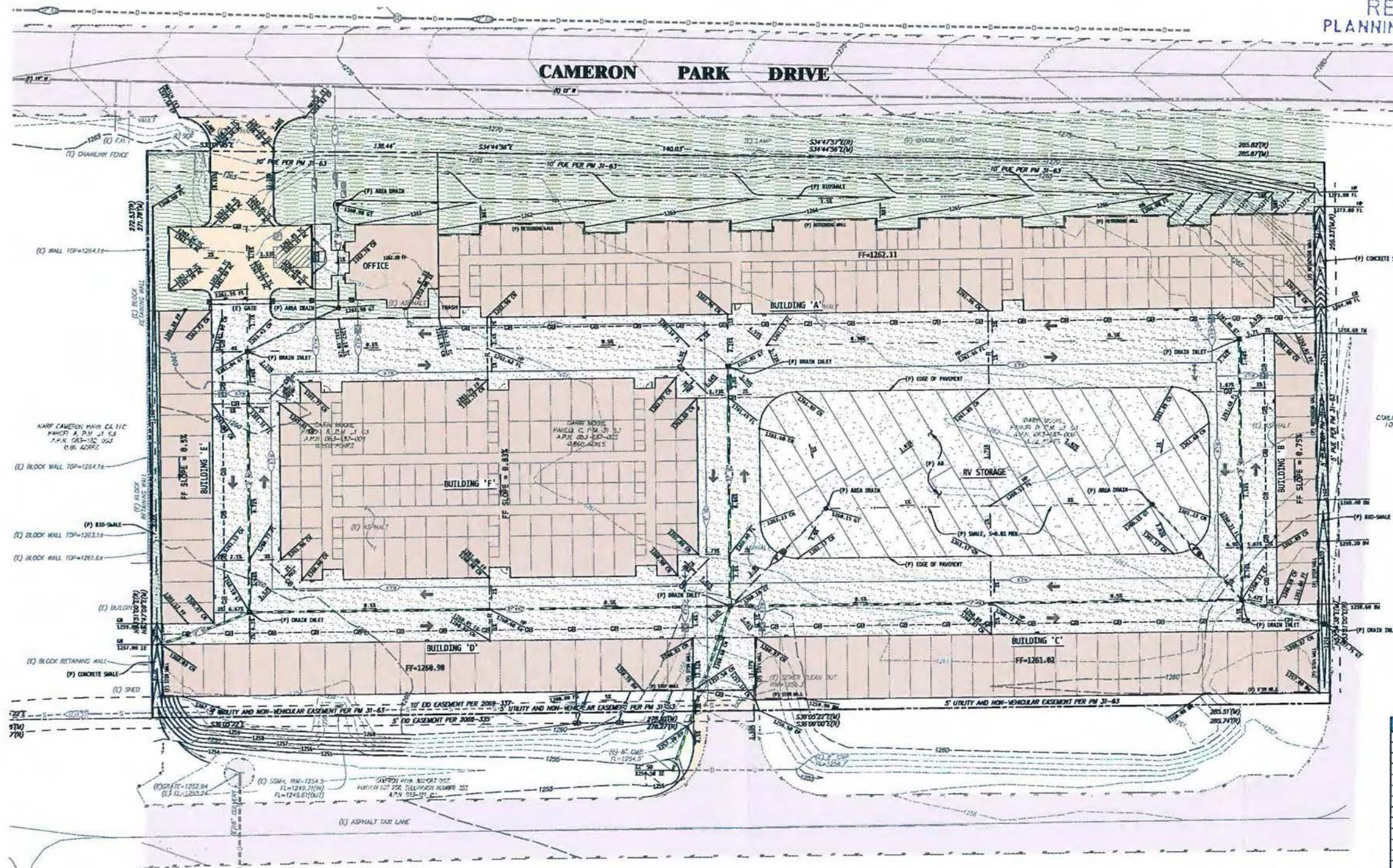
Revised Preliminary Grading & Drainage Plan For Air Park Self Storage - Phase 1

Lots B, C & D, PM 31/63 Air Park Estates - 3200 Cameron Park Drive, Cameron Park, CA
August 2019

2019 AUG 14 PM 1:43

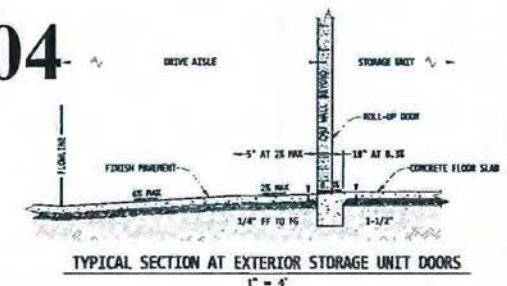
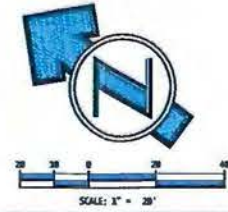
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DR14-0004



CAMERON PARK AIRPARK DISTRICT
FOR ALL AND FUTURE DISTRICTS
A.P.N. 063-182-003
7.26 ACRES

DR-R19-0004



Abbreviations	
AC	ASPHALTIC CONCRETE
AB	AGGREGATE BASE
BFP	BACKFLOW PREVENTER
BM	BOTTOM OF WALL AT FG
CPW	CONCRETE PAVEMENT
CR	CONCRETE
CV	CHECK VALVE
DCV	DOUBLE CHECK VALVE
DMY	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
EP	EDGE OF PAVEMENT
FC	FIRE DEPT. CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FW	FIRE WARRANT
FL	FLOODLINE
GB	GRADE BREAK
HP	HIGH POINT
LT	LEFT
(M)	MEASURED BEARING OR DISTANCE
(P)	PROPOSED
PCC	PORTLAND CEMENT CONCRETE
PUE	PUBLIC UTILITIES EASEMENT
R	EDGE
(R)	RECORD BEARING OR DISTANCE
RPA	REDUCED PRESSURE DETECTOR ASSY.
SD	STORM DRAIN
SS	SEWERY SINK
TC	TOP OF CURB ELEVATION
TM	TOP OF WALL
UP	UTILITY POLE
W	WATER
WM	WATER METER

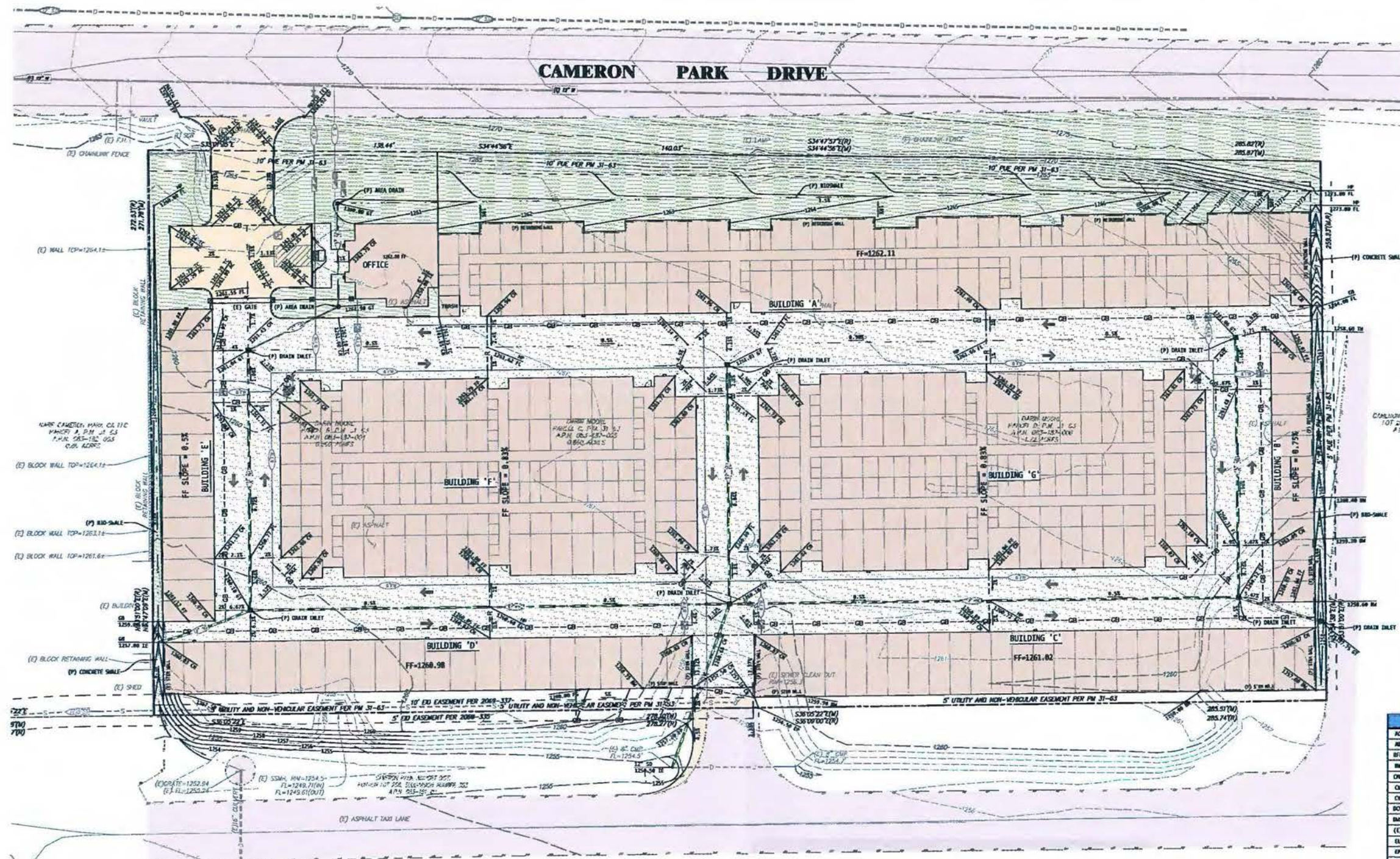
Legend	
(E)	ASPHALT PAVING
(P)	ASPHALT PAVING
(P)	PCC PAVING
(P)	LANDSCAPE AREA

Project #19-101	SHEET NO.
Date: August 2019	G1
Scale: 1" = 20'	
Designed by: R. Personius	
Drawn by: R. Personius	PLN. DATE: 08.16.2019

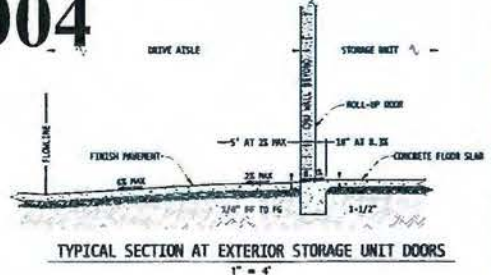
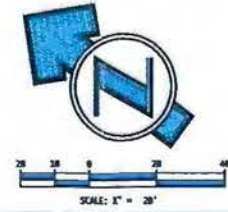
Revised Preliminary Grading & Drainage Plan For Air Park Self Storage - Phase 2

Lots B, C & D, PM 31/63 Air Park Estates - 3200 Cameron Park Drive, Cameron Park, CA
August 2019

DR14-0004



DR-R19-0004

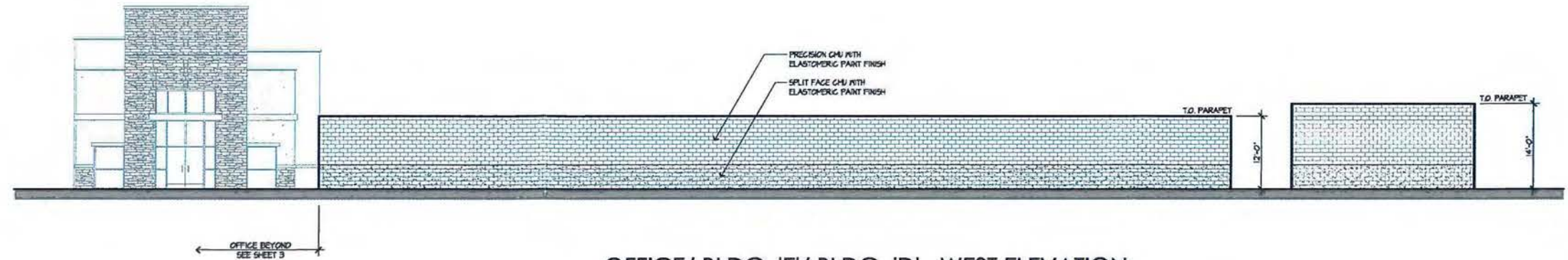


Abbreviations	
AC	ASPHALTIC CONCRETE
AG	AGGREGATE BASE
BFP	BLOCK/FLOW PREVENTER
BN	BOTTOM OF WALL AT FG
CM	CORRUGATED METAL PIPE
CC	CONCRETE
CV	CHECK VALVE
DCV	DOUBLE CHECK VALVE
DMV	DRIVEWAY
(E)	EXISTING
EL	ELEVATION
EP	EDGE OF FINISH
FIC	FINISH INFLECT. CONNECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FM	FINISH POINT
FL	FLOODLINE
GB	GRADE BREAK
HP	HIGH POINT
LT	LEFT
(P)	PROPOSED BEARING OR DISTANCE
(P)	PROPOSED
PCC	PORTLAND CEMENT CONCRETE
PUE	PUBLIC UTILITY EASEMENT
R	RIDGE
(R)	RECORD BEARING OR DISTANCE
RPA	REDUCED PRESSURE DETECTOR ASSY.
SD	STORM DRAIN
SS	SANITARY STACK
TC	TOP OF CURB ELEVATION
TW	TOP OF WALL
UP	UTILITY POLE
W	WATER
WP	WATER METER

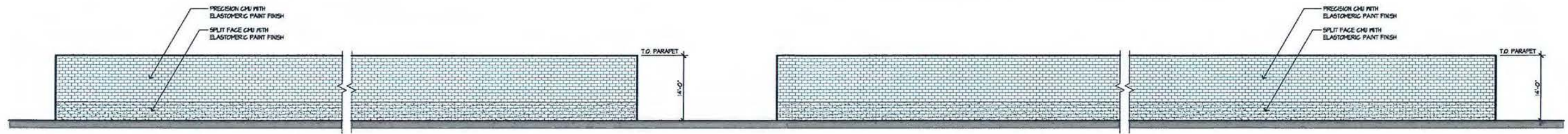
LEGEND	
(E)	ASPHALT PAVING
(P)	ASPHALT PAVING
(P)	PCC PAVING
(P)	LANDSCAPE AREA

Project #19-101	SHEET NO.
Date: August 2019	G2
Scale: 1" = 20'	
Designed by: R. Personius Drawn by: R. Personius	

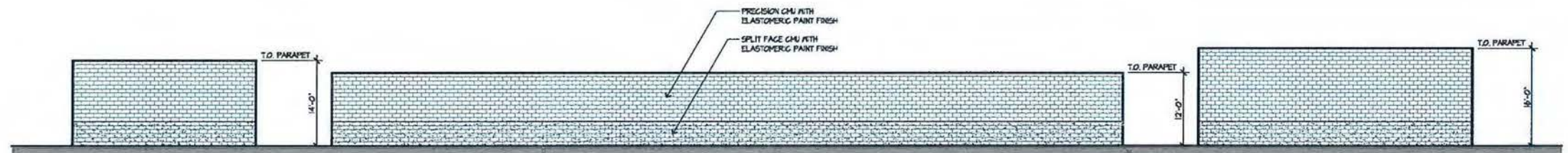
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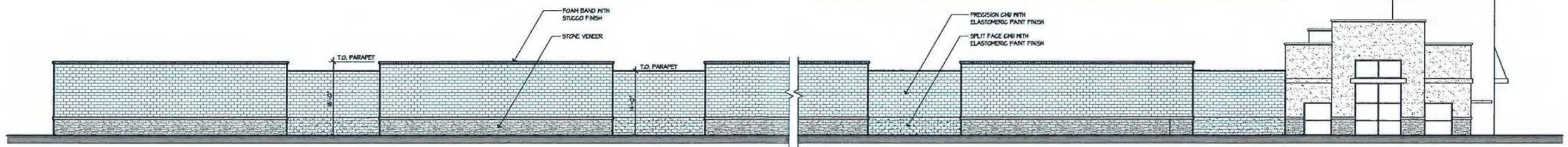
OFFICE/ BLDG. 'E'/ BLDG. 'D' WEST ELEVATION



BLDG. 'D'/ BLDG. 'C' SOUTH ELEVATION

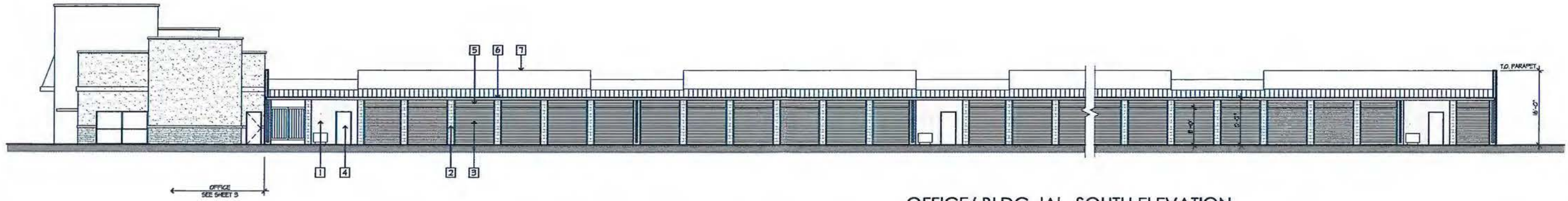


BLDG. 'C'/ BLDG. 'B'/ BLDG. 'A' EAST ELEVATION



BLDG. 'A'/ OFFICE NORTH ELEVATION

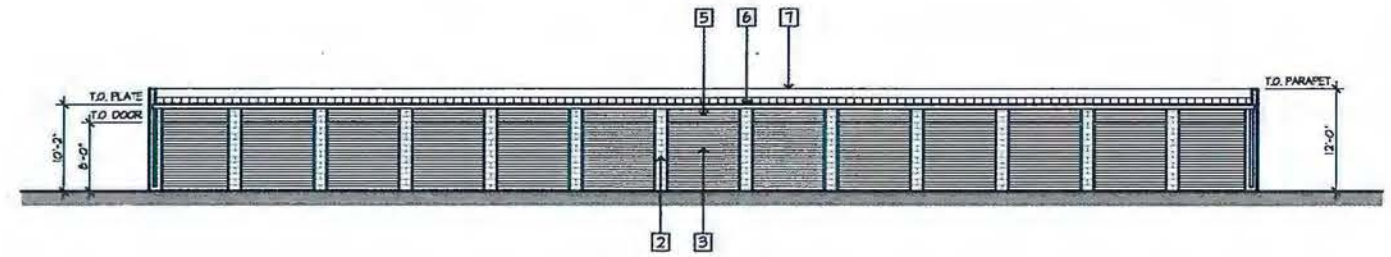
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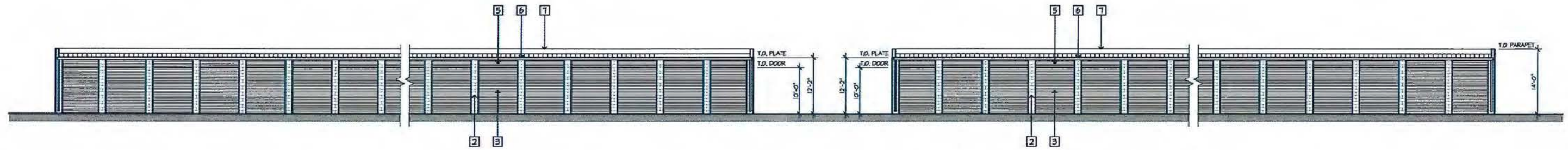
OFFICE/ BLDG. 'A' SOUTH ELEVATION

ELEVATION KEYNOTES

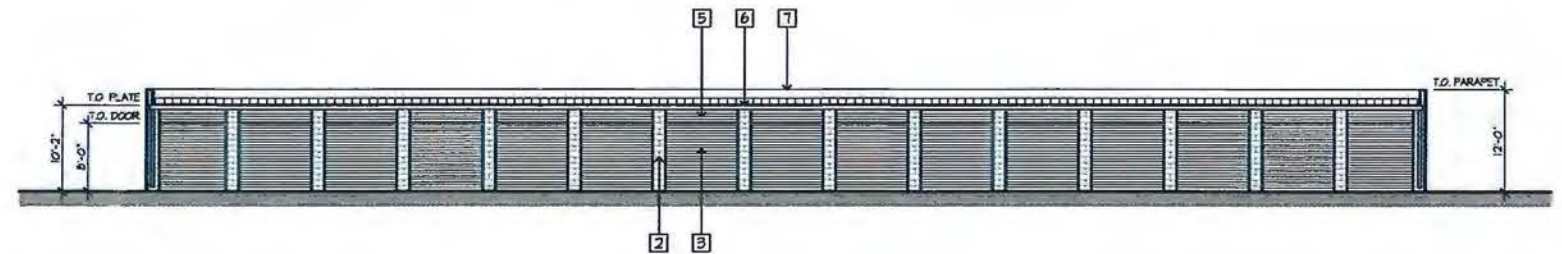
1. CMU WALL WITH ELASTOMERIC PAINT FINISH
2. CMU DOOR PILASTER WITH ELASTOMERIC PAINT FINISH
3. METAL ROLL-UP DOOR
4. METAL HALLWAY SWING DOOR
5. METAL TRANSOM OVER DOOR
6. METAL GUTTER
7. TOP OF PARAPET BEYOND



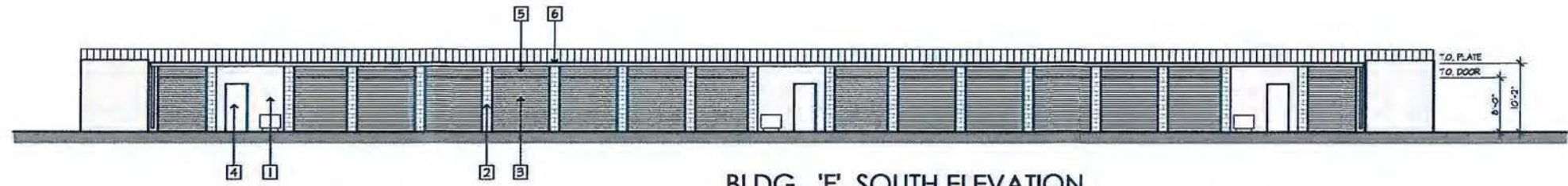
BLDG. 'B' WEST ELEVATION



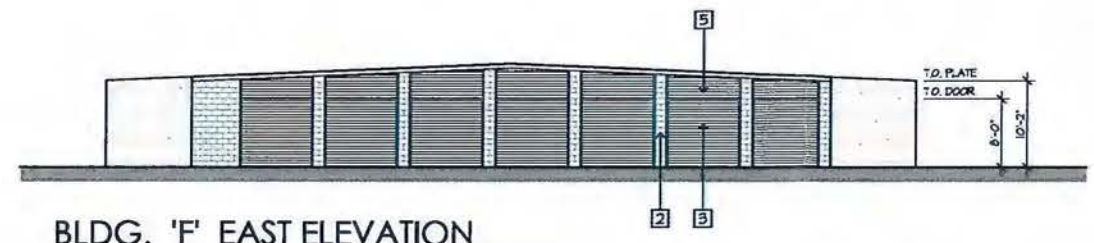
BLDG. 'C'/ BLDG. 'D' NORTH ELEVATION



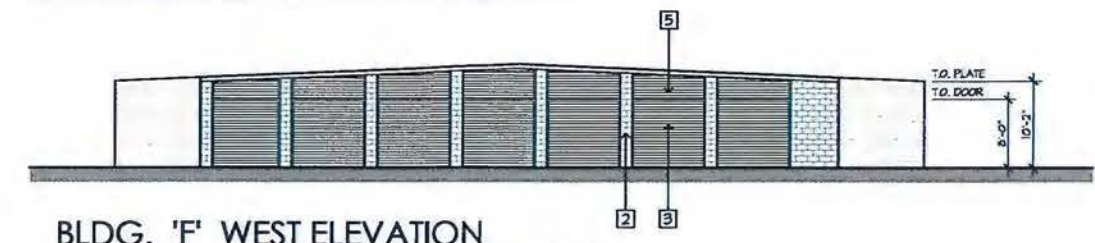
BLDG. 'E' EAST ELEVATION



BLDG. 'F' SOUTH ELEVATION



BLDG. 'F' EAST ELEVATION



BLDG. 'F' WEST ELEVATION

ELEVATION KEYNOTES

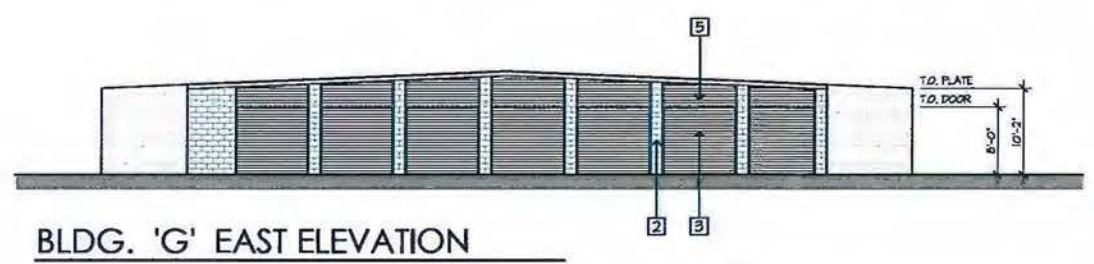
- 1. CMU WALL WITH ELASTOMERIC PAINT FINISH
- 2. CMU DOOR PILASTER WITH ELASTOMERIC PAINT FINISH
- 3. METAL ROLL-UP DOOR
- 4. METAL HALLWAY SWING DOOR
- 5. METAL TRANSOM OVER DOOR
- 6. METAL GUTTER
- 7. TOP OF PARAPET BEYOND



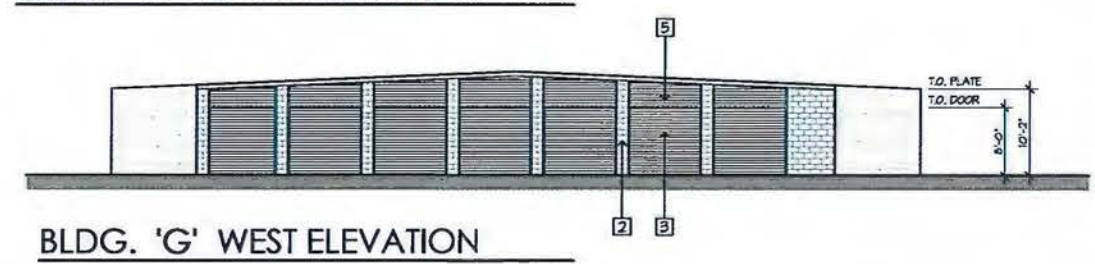
BLDG. 'F' NORTH ELEVATION



BLDG. 'G' SOUTH ELEVATION



BLDG. 'G' EAST ELEVATION



BLDG. 'G' WEST ELEVATION



BLDG. 'G' NORTH ELEVATION

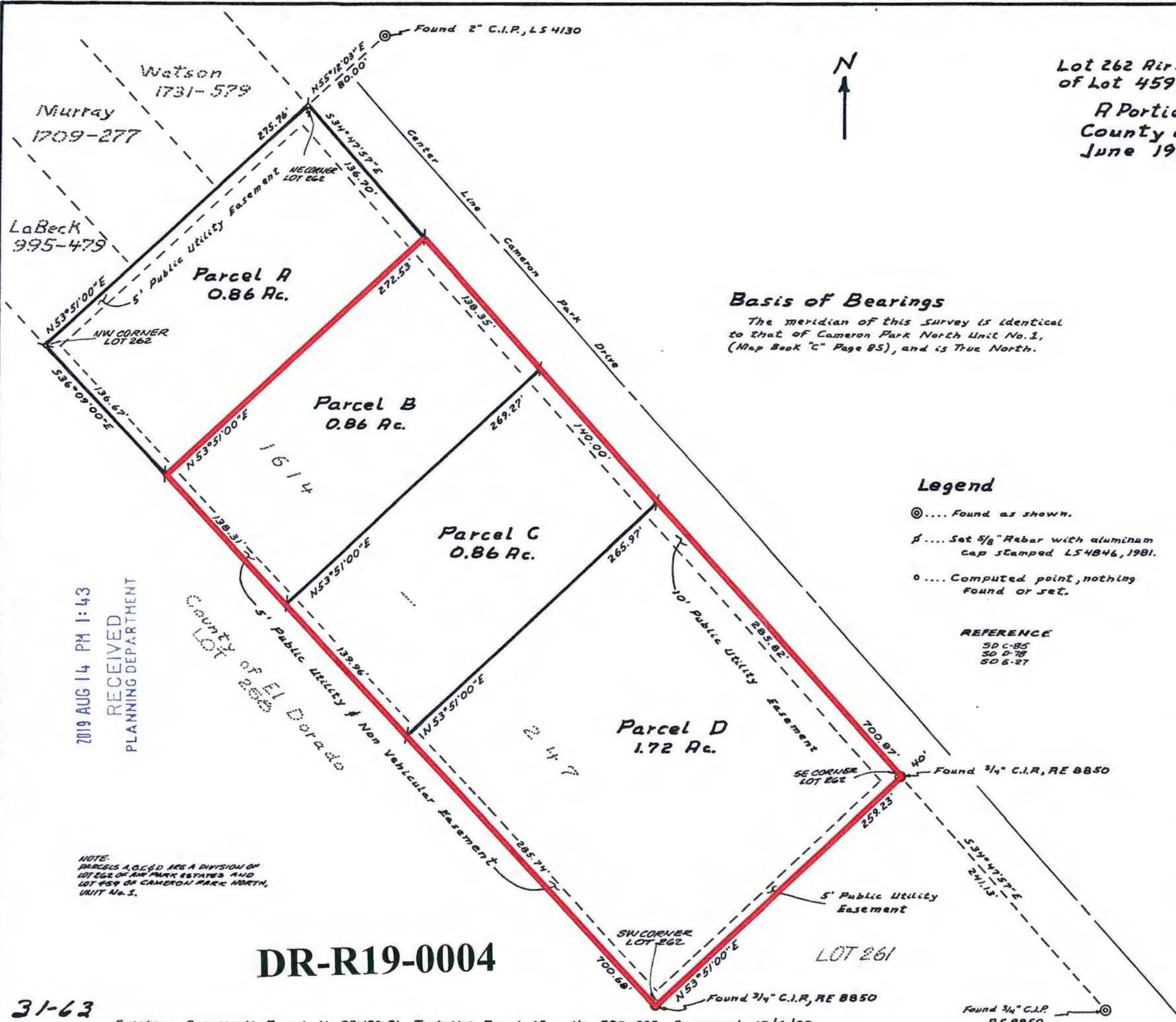
31-63

31-63

31-63

31-63

Parcel Map
 of
Lot 262 Air Park Estates and ReSubdivision
of Lot 459 of Cameron Park North Unit No. 1
 A Portion Section 28, T.10N, R.9E, M.D.M.
 County of El Dorado, State of California
 June 1981
 Scale 1" = 50'



Basis of Bearings
 The meridian of this survey is identical to that of Cameron Park North Unit No. 1, (Map Book "C" Page 85), and is True North.

Legend

- ⊙.... Found as shown.
- ⊕.... Set 5/8" Rebar with aluminum cap stamped LS4846, 1981.
- o.... Computed point, nothing found or set.

REFERENCE
 SD C-85
 SD D-78
 SD G-27

Surveyor's Certificate:
 This map was prepared by me or under my direction and is based upon a field survey in conformance with the requirements of the Subdivision Map Act and Local Ordinance at the request of THE AROM CORPORATION on September 1st 1980. I hereby state that this parcel map substantially conforms to the approved or conditionally approved tentative map, if any.

James E. Trogdon
 James Edward Trogdon
 L.S. 4846

County Surveyor's Certificate:
 This map conforms with the requirements of the Subdivision Map Act and Local Ordinance.
 Dated: Sept 13, 1982

Fred G. DeBerry
 Fred G. DeBerry L.S. 2403
 County Surveyor
 County of El Dorado

Recorder's Certificate:
 Filed this 14 day of September 1982 at 11:11 A.M. in Book 31 of Parcel Maps at Page 63 at the request of James Edward Trogdon.
 Document No. 31014

Dorothy Carr
 Dorothy Carr
 County Recorder
 County of El Dorado
 By: *Linda J. Bell*
 Deputy

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County of El Dorado
 LOT 262

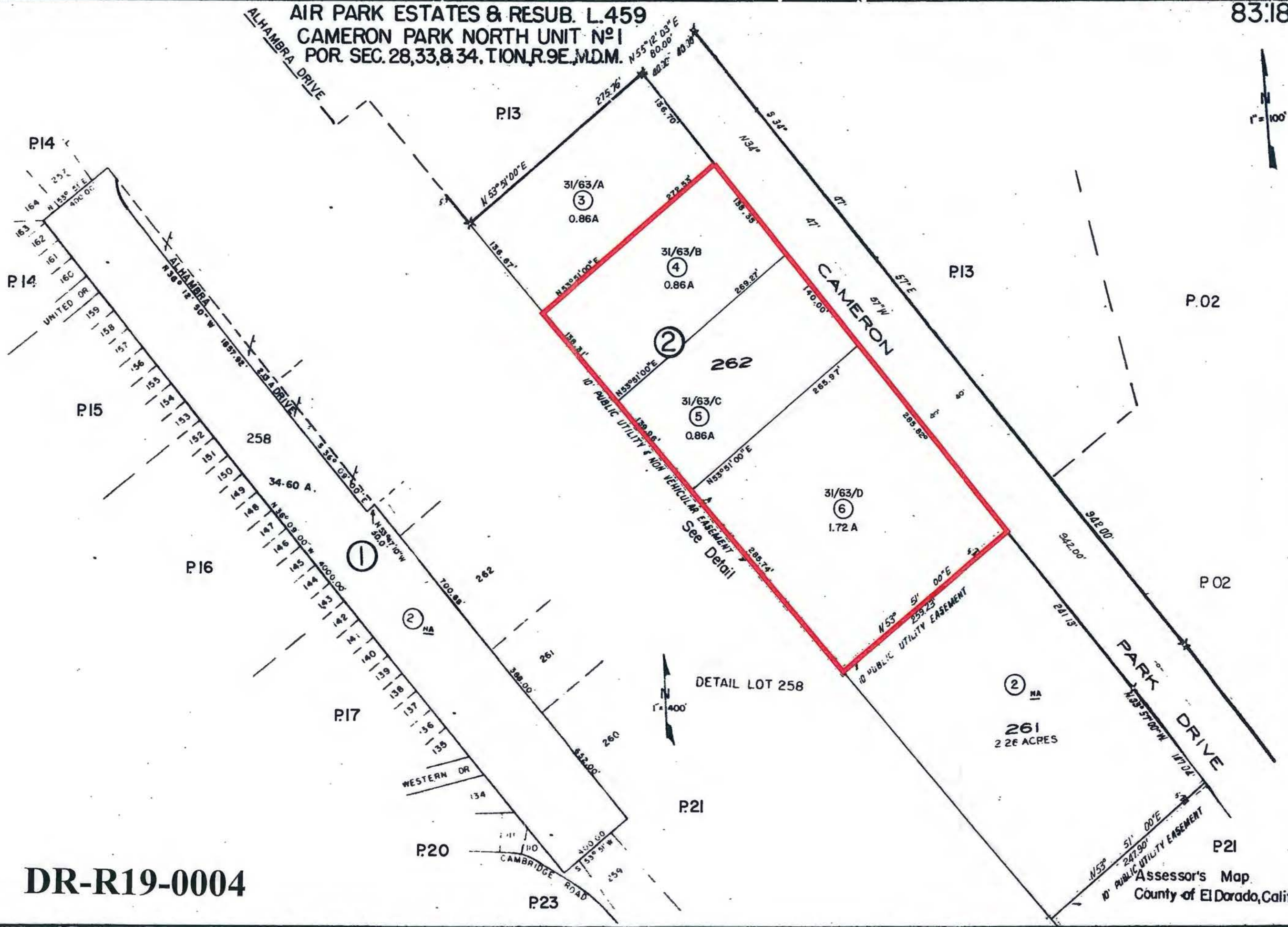
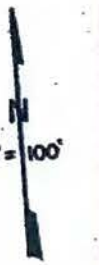
NOTE:
 PARCELS A, B, C & D ARE A DIVISION OF LOT 262 OF AIR PARK ESTATES AND LOT 459 OF CAMERON PARK NORTH, UNIT No. 1.

DR-R19-0004

31-63

Found 3/4" C.I.P. RE 8850

AIR PARK ESTATES & RESUB. L.459
CAMERON PARK NORTH UNIT N°1
POR. SEC. 28,33,& 34, T.10N,R.9E,M.D.M.



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Assessor's Map
County of El Dorado, Calif.